

Yorkshire Water

Meter Location Policy

Version 3



YorkshireWater

Document Revision History

Version	Date	Amendment Details
1	01/04/2017	<ul style="list-style-type: none">• New Meter Location Policy
2	31/01/2023	<ul style="list-style-type: none">• Updated the policy.
3	31/01/2026	<ul style="list-style-type: none">• Updated our policy to include learning from our Smart Metering Programme. This has resulted in YW changing the second option available to Developers.

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1. Introduction

This policy defines the domestic meter location options available for New Developments.

All new build properties built since 1990 have water meters installed at the time of construction. This is a legal requirement in line with the Water Industry Act 1991 and cannot be reversed.

Yorkshire Water's (YW) policy is that domestic meters are located externally, except where this isn't practical or financially viable, as defined within this policy. This will ensure we protect our assets by maximising operability, serviceability and maintainability, providing YW ease of access for meter reading and stop tap operation, without inconveniencing our customers, and increased visibility for leakage detection, whilst enabling our network for smart metering.

1.1. Scope

This policy applies to Designers, Developers and Self-Lay Providers.

Failure to comply with this policy may mean connection delays, possible abortive visit charges, customer complaints or remedial costs.

For further information or queries you can contact Developer Services directly by visiting:

<https://www.yorkshirewater.com/developers/contact-developer-services/>

2. Meter Locations Policy

Since 1990 every newly built property has required the installation of a water meter. On new build properties, these meters have always been installed at the highway boundary, but in response to customer demand we have reviewed our policy for new build properties.

Since 1st April 2017, YW has provided Developers with more choice regarding the location of the domestic water meter, thus allowing safer and greater access for the homeowner.

The options available to Developers are detailed below in order of preference:

1. Install a new meter in the public footpath within **0.5 metre** of the property boundary.
2. Install a new meter on private land within **1.0 metre** of the property boundary.

3. Exclusions

3.1. Meters in the Highway

YW does not install domestic meters in the highway except in exceptional circumstances.

This would require prior approval from YW.

4. Meter Location Detailed Guidance

4.1. Guidance on installing a new meter in the public footpath within 0.5 metre of the boundary of the property.

This is YW's preferred option, where the meter chamber is installed in the footpath at the property boundary, or at the boundary of a private development, in the adoptable highway (refer to [Figure 1](#)). The maintenance of the water meter and chamber shall be the responsibility of YW.

When a Developer chooses this option, all costs for the installation of the supply including the provision of the boundary meter box will be met by the Developer.

The meter chamber (boundary box) should be installed within soft or reinstated ground in the footpath, in a non-trafficked area, within **0.5 metre** of the boundary, and at a minimum of 150 mm from other individual boundary boxes.

Service Pipes should be laid under grassed areas where possible and not laid beneath footpaths, drives and parking areas. This should allow meters to be positioned in non-trafficked areas. Where this isn't feasible, for example properties fronted by multiple shared driveways, then the meter should be positioned away from the direct line of wheel loading.

Where no footpath is available, the meter chamber shall be installed on private land within **1.0 metre** of the property boundary.

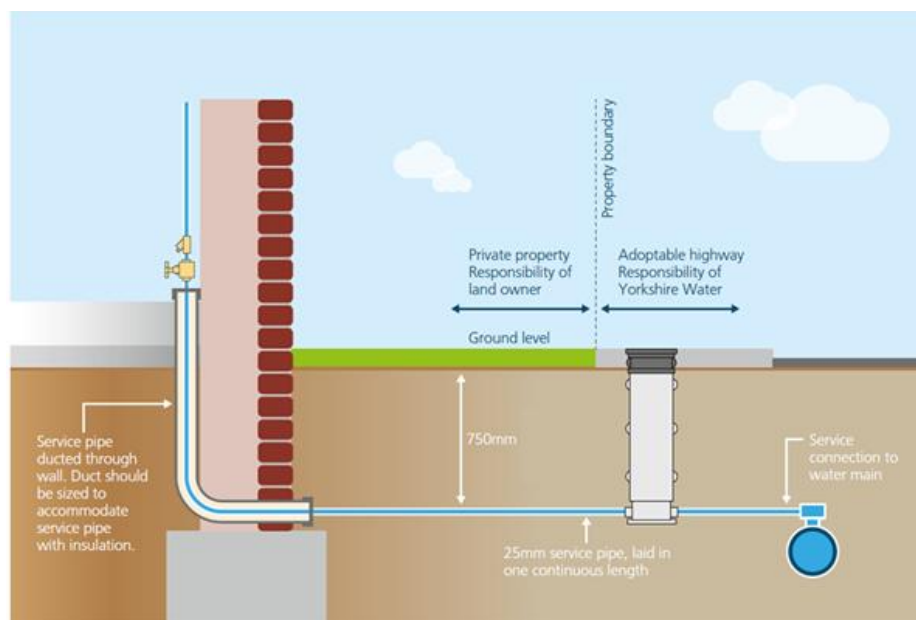


Figure 1: Meter in a chamber in the footpath within 0.5 metre of the property boundary.

4.2. Guidance on installing a new meter on private land within 1.0 metre of the boundary of the property.

This is YW second option, where the meter chamber is installed on private land within **1.0 metre** of the property boundary.

The meter chamber should be positioned in an open or partially enclosed spaces where the smart meter signal won't be restricted (refer to **Figure 2**).

This requires that the meter chamber should be positioned:

- at a maximum allowable distance of **1.0 metre** from solid obstructions, such as walls, fences, trees, or dense vegetation.

and that the meter chamber should not be positioned:

- in driveways, in the wheel line of vehicles, or under a parking space.
- where it could get damaged by the customer.
- where it could get buried or covered over by the customer.
- where it could get covered, over time by foliage or grass.
- where access is limited or restricted.

and for Health and Safety purposes the meter chamber should not be positioned:

- in any potentially dangerous location that could limit future YW operational activities.

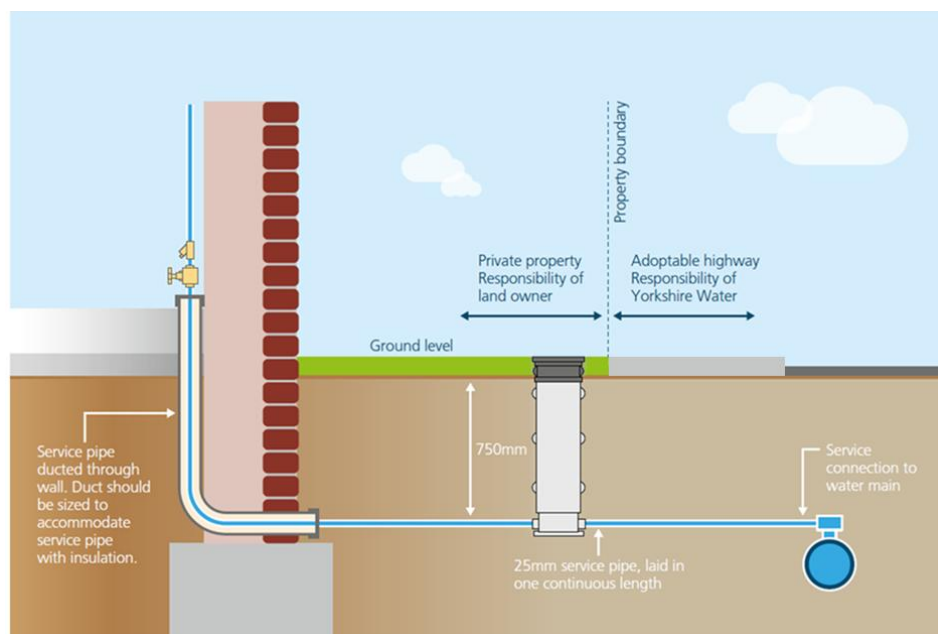


Figure 2: Meter in a chamber on private land within 1.0 metre of the property boundary.

4.3. Single and Two Storey Multi-Occupancy Buildings

There should be no problems in providing separate services and standard meter installations to single or two storey developments. Where the installation method is for four or more metered supplies in a single chamber with a 4–8-way multiple outlet manifold with 15mm MSM manifold meters, the chamber location should be positioned as outlined in [Section 2](#).

If communal facilities are to be installed in the premises (e.g., laundries, garden taps, visitor toilets) these need to be separately supplied and metered charges levied to the building Management Co., Tenant Association, or landlord.

4.4. Three or More Storey Multi-Occupancy Buildings

The installation of separate service pipes becomes problematic when dwellings consist of three or more storeys as a lack of pressure can prevent mains water from reaching the upper storeys by gravity feed. Therefore, on-site boosting and/or pumps may be required, which will require a single large-diameter service.

In such circumstances a single metered large-diameter supply and rising main within the property will be allowed with the provision for separate metered charging of individual dwellings where we may consider a common supply pipe feeding the building more suitable.

The meters for individual dwellings will be grouped together on each floor in communal areas or utility spaces, on each floor, with easy access provided for YW personnel.

Where feasible, the ground floor meters should be externally accessible to YW personnel.

4.5. Related Documents

Please refer to the [YW Design and Construction Specification \(DCS\) for Self-Lay Providers](#) on the YW website for further details on our Metering Specification and Standard Meter Arrangement Drawings.