

HOME FARM

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Renovated Rural Offices Apperley Lane Eshott

LAST UNITS REMAINING Sale / To let from 2,886 Sq Ft (268.1 Sq M)² to 5,141 Sq Ft (477.6 Sq M)

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Description

Home Farm comprises nine individual office buildings with courtyard parking, set in a landscaped Conservation Area. Seven of the units are existing Grade II Listed Buildings, which will be extensively renovated and refurbished to provide high quality office accommodation, while retaining many period features.

A new build unit has been constructed to complement the existing office development.

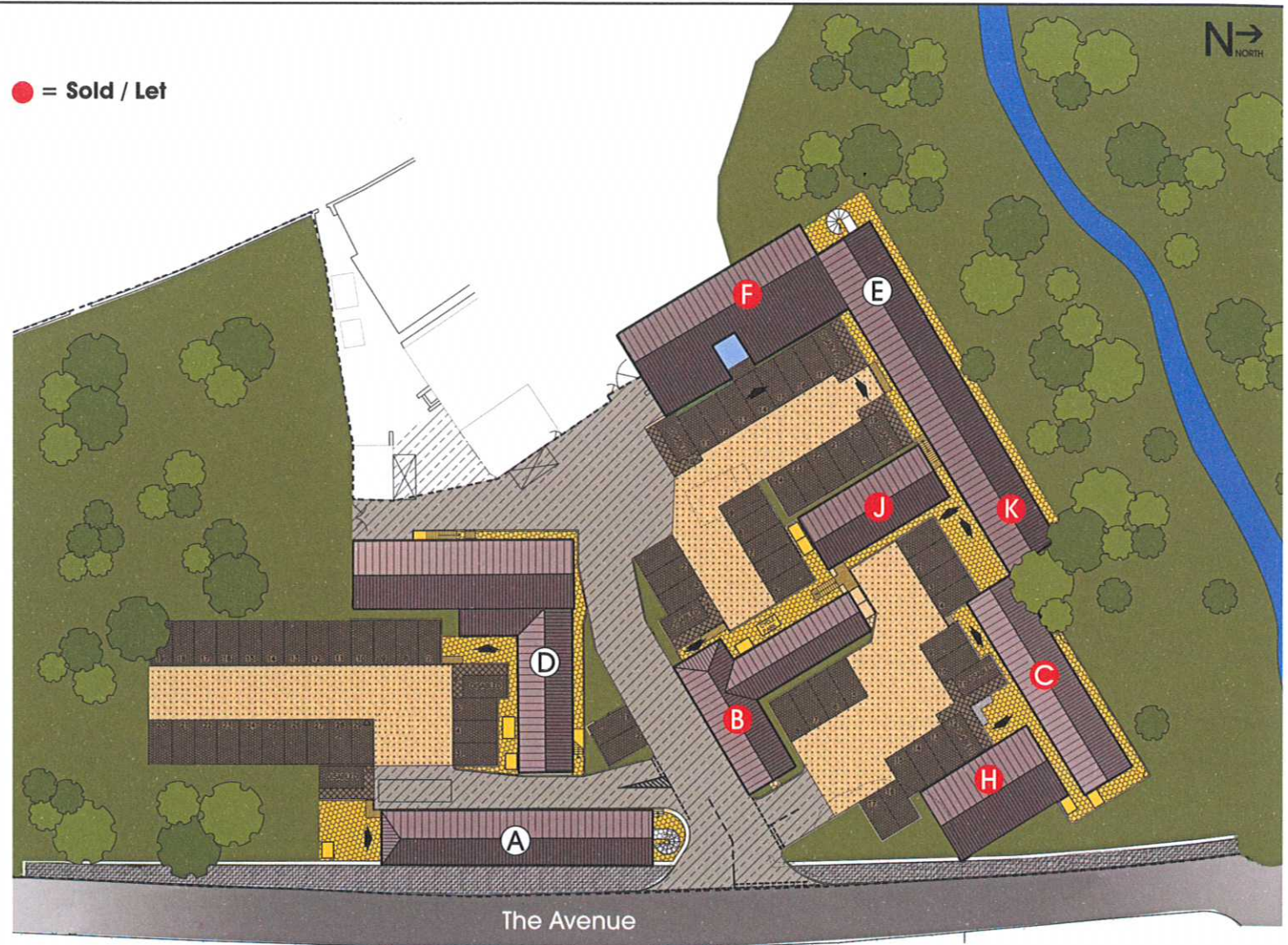
Esholt Hall will be available to occupiers of Home Farm for hire. There are conference facilities and meeting rooms, together with theme days available, and full restaurant and canteen facilities, which are open to external companies.

Accommodation

The properties will provide the following approximate net internal floor areas:

Building No.	Sq Ft	Sq M	Car Spaces
A	2,886	268.1	11
B		Sold	
C		Sold	
D	5,141	477.6	19
E	3,075	284.4	11
F		Sold	
H		Sold	
J		Sold	
K		Let	

● = Sold / Let



NB: Please note that all areas are subject to change following completion of the refurbishment and building works and will be subject to a final measurement in accordance with the RICS Code of Measuring Practice (Edition 5).

Indicative scheme layout

Specification Update

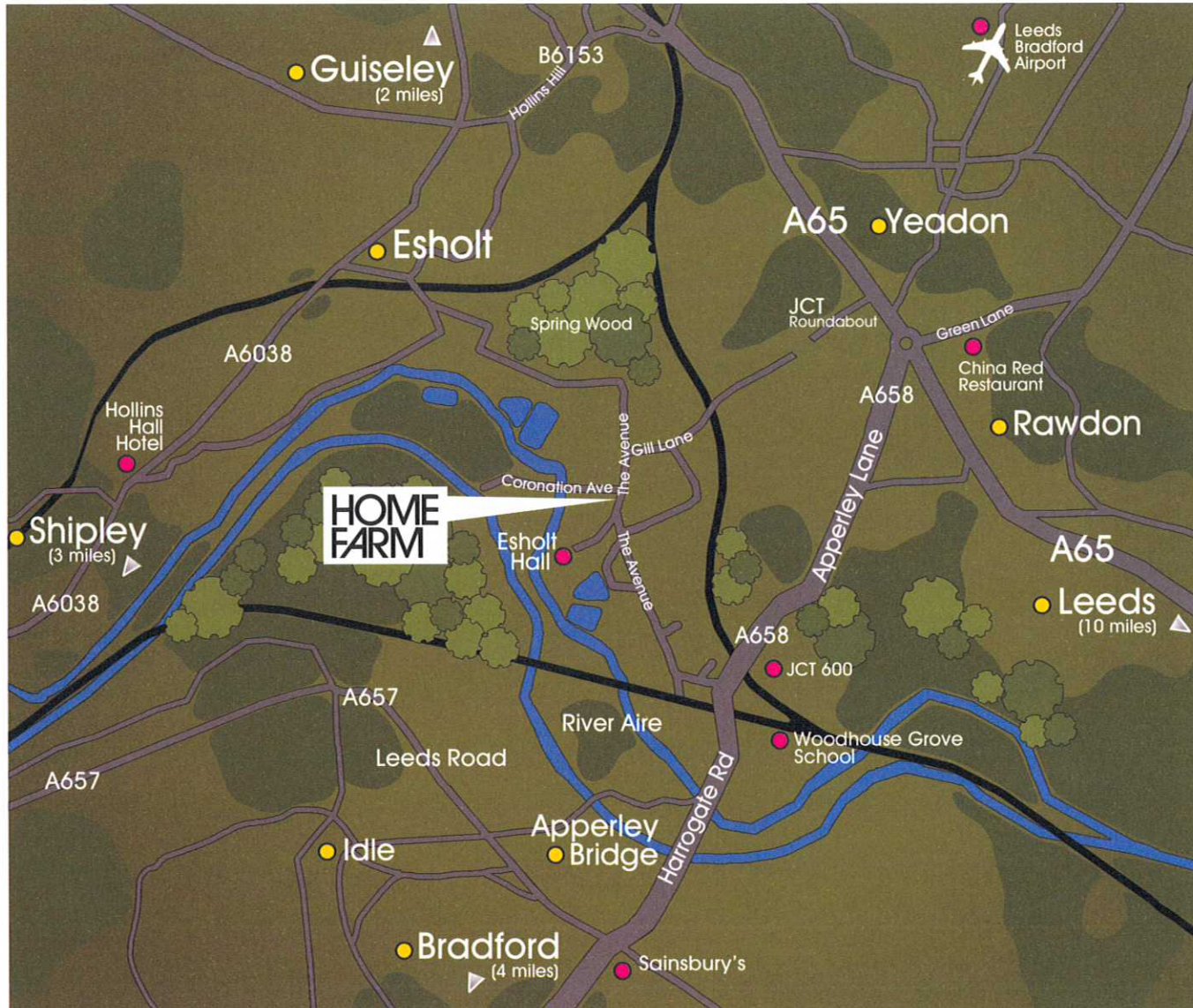
Internally, the units will be finished to a high standard, briefly comprising:

- Mechanical ventilation system
- Architectural feature up and down lighters
- Landscaped courtyard parking
- Suspended ceilings
- Carpeting throughout
- CCTV
- Exposed oak beams
- LG7 lighting
- ISDN & Broadband

Available for immediate occupation



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Location Map

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Location

Home Farm is situated in a rural location, equidistant between the A658 Apperley Lane to the east and the A6033 Hollins Hill to the west.

Located some 10 miles northwest of Leeds city centre and some 4 miles north of Bradford city centre, the site sits adjacent to Esholt Hall, a major conference facility, and within 1/2 mile of Esholt Village providing local facilities.

Route Finder: **BD17 7QX**

Tenure / Further Information

The properties are available on a long leasehold (250 years) basis upon practical completion.

Alternatively, the properties are available by way of new full repairing and insuring lease, on terms to be agreed.

For further information and quoting terms, please contact the joint agents.

Key

- Towns & Distances
- Amenities & Schools

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